

1 EXISTING SOUTH ENTRANCE
SCALE: NTS



A



B



J



K



C



D



E



F



G



H

VICINITY MAP



PROJECT INFORMATION

PROJECT OWNER:
The Church of Jesus Christ of Latter-Day Saints, A Utah Corporation Sole
Meetinghouse Project Management Office
Logan King, Project Manager
50 E. North Temple Street, 12th Floor
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Phone: (385) 228-4288
Fax: (801) 240-1494
kinglc@churchofjesuschrist.org

PROJECT DISCRPTION:
THIS PROJECT CONSISTS OF EXISTING 28,606 SF MEETINGHOUSE AND ONE STORAGE BUILDING. WORK INCLUDES REMOVING EXISTING PARKING LOT BASE, ASPHALT, CONCRETE SIDEWALKS, CURBS, GUTTERS AND MISC. LANDSCAPE WORK. WORK ALSO INCLUDES PROVIDING LOW ENERGY DOOR OPERATORS AT THE SOUTHEAST ENTRY OF THE BUILDING.

APPLICABLE CODES: 2018 INTERNATIONAL BUILDING CODE
2018 INTERNATIONAL MECHANICAL CODE
2018 UNIFORM PLUMBING CODE
2017 NATIONAL ELECTRICAL CODE
2018 INTERNATIONAL ENERGY CONSERVATION CODE
2018 INTERNATIONAL FIRE CODE

CODE DATA:
TYPE OF USE: TYPE III - 1 HOUR
ZONE/LAND USE: C - PUBLIC/SEMPUBLIC
EXISTING OCCUPANCY: A-3
BUILDING ALARM & FIRE SUPPRESSION: NO
EXITS REQUIRED: NO CHANGES.
OCCUPANCY LOAD: NO CHANGE
PARCEL NUMBER: RPJ0000175810A

DRAWING INDEX

ARCHITECTURAL

SHEET	TITLE
A100	TITLE SHEET & PHOTOS
AS101	ARCHITECTURAL SITE PLAN

CIVIL

C1.00	SITE DEMOLITION PLAN
C1.50	ESC PLAN
C1.51	ESC DETAILS
C2.00	SITE LAYOUT PLAN
C2.50	SITE DETAILS
C2.51	SITE DETAILS
C3.00	GENERAL NOTES
C4.00	GRADING PLAN

PROJECT DIRECTORY

ARCHITECT:

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1506 S. Secretariat Way
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ulmergc@gmail.com
Contact: Gene C. Ulmer

CIVIL ENGINEER:

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462 E. Shore Dr., Suite 100
Eagle, Idaho 83616
(208) 939-4041
Fax (208) 939-4445
Contact: Russ Hepworth



GENE C. ULMER
ARCHITECT

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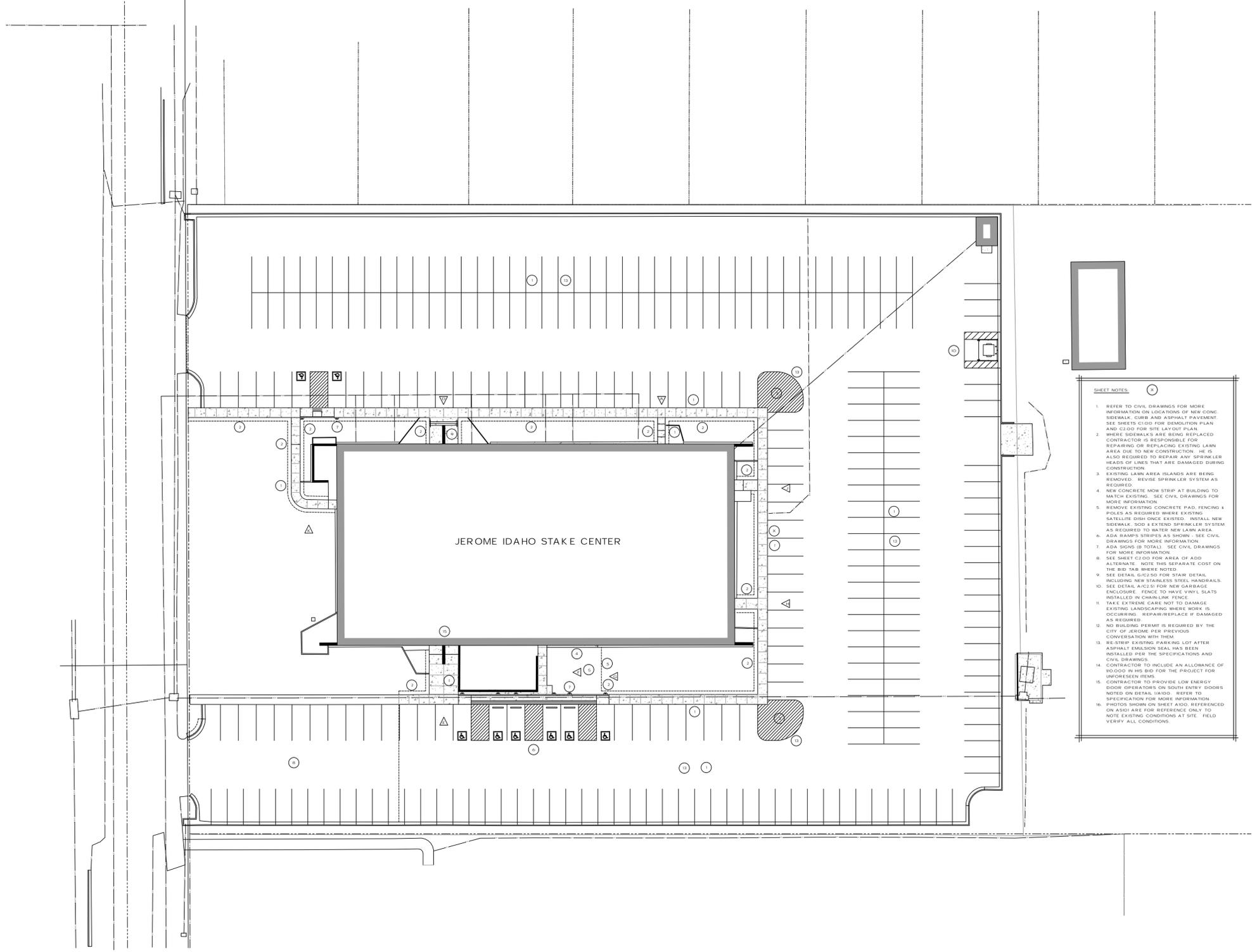
THE CHURCH OF
JESUS CHRIST
OF LATTER-DAY SAINTS

JEROME 1, 4, 6 & - PARKING LOT REPLACEMENT
JEROME IDAHO STAKE
26 NORTH 100 EAST (506 TIGER DRIVE NORTH)
JEROME, IDAHO 83338

TITLE SHEET & PHOTOS

NO.	REVISION	DATE
1		
2		
3		

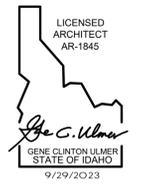
PROJECT NUMBER:	22313	SHEET #
PROPERTY NUMBER:	5307032030101	
DRAWN BY:	G.U.	A100
CHECKED BY:	G.U.	
DATE:	SEPT. 29, 2023	



1 SITE PLAN
SCALE: 1" = 30'-0"



- SHEET NOTES**
- REFER TO CIVIL DRAWINGS FOR MORE INFORMATION ON LOCATIONS OF NEW CONC. SIDEWALK, CURB AND ASPHALT PAVEMENT. SEE SHEETS C100 FOR DEMOLITION PLAN AND C200 FOR SITE LAYOUT PLAN.
 - WHERE SIDEWALKS ARE BEING REPLACED CONTRACTOR IS RESPONSIBLE FOR REPAIRING OR REPLACING EXISTING LAWN AREA DUE TO NEW CONSTRUCTION. HE IS ALSO REQUIRED TO REPAIR ANY SPRINKLER HEADS OF LINES THAT ARE DAMAGED DURING CONSTRUCTION.
 - EXISTING LAWN AREA ISLANDS ARE BEING REMOVED. REVISE SPRINKLER SYSTEM AS REQUIRED.
 - NEW CONCRETE HOW STRIP AT BUILDING TO MATCH EXISTING. SEE CIVIL DRAWINGS FOR MORE INFORMATION.
 - REMOVE EXISTING CONCRETE PAD, FENCING & POLES AS REQUIRED WHERE EXISTING SATELLITE DISH ONCE EXISTED. INSTALL NEW SIDEWALK, SOUL & EXTEND SPRINKLER SYSTEM AS REQUIRED TO WATER NEW LAWN AREA.
 - ADA RAMP STAIRS AS SHOWN. SEE CIVIL DRAWINGS FOR MORE INFORMATION.
 - ADA SIGNS (8 TOTAL). SEE CIVIL DRAWINGS FOR MORE INFORMATION.
 - SEE SHEET C200 FOR AREA OF ADD ALTERNATE. NOTE THIS SEPARATE COST ON THE BID TAB WHERE NOTED.
 - SEE DETAIL C2150 FOR STAIR DETAIL INCLUDING NEW STAINLESS STEEL HANDRAILS.
 - SEE DETAIL A1050 FOR NEW GARBAGE ENCLOSURE. FENCE TO HAVE VINYL SLATS INSTALLED IN CHAINLINK FENCE.
 - TAKE EXTREME CARE NOT TO DAMAGE EXISTING LANDSCAPING WHERE WORK IS OCCURRING. REPAIR/REPLACE IF DAMAGED AS REQUIRED.
 - NO BUILDING PERMIT IS REQUIRED BY THE CITY OF JEROME PER PREVIOUS CONVERSATION WITH THEM.
 - RE-STRIP EXISTING PARKING LOT AFTER ASPHALT EMISSION SEAL HAS BEEN INSTALLED PER THE SPECIFICATIONS AND CIVIL DRAWINGS.
 - CONTRACTOR TO INCLUDE AN ALLOWANCE OF \$10000 IN HIS BID FOR THE PROJECT FOR UNKNOWN ITEMS.
 - CONTRACTOR TO PROVIDE LOW ENERGY SODD OPERATORS ON SOUTH ENTRY DOORS NOTED ON DETAIL A1000. REFER TO SPECIFICATION FOR MORE INFORMATION.
 - PHOTOS SHOWN ON SHEET A100. REFERENCED ON SHOP ARE FOR REFERENCE ONLY. DO NOT NOTE EXISTING CONDITIONS AT SITE. FIELD VERIFY ALL CONDITIONS.



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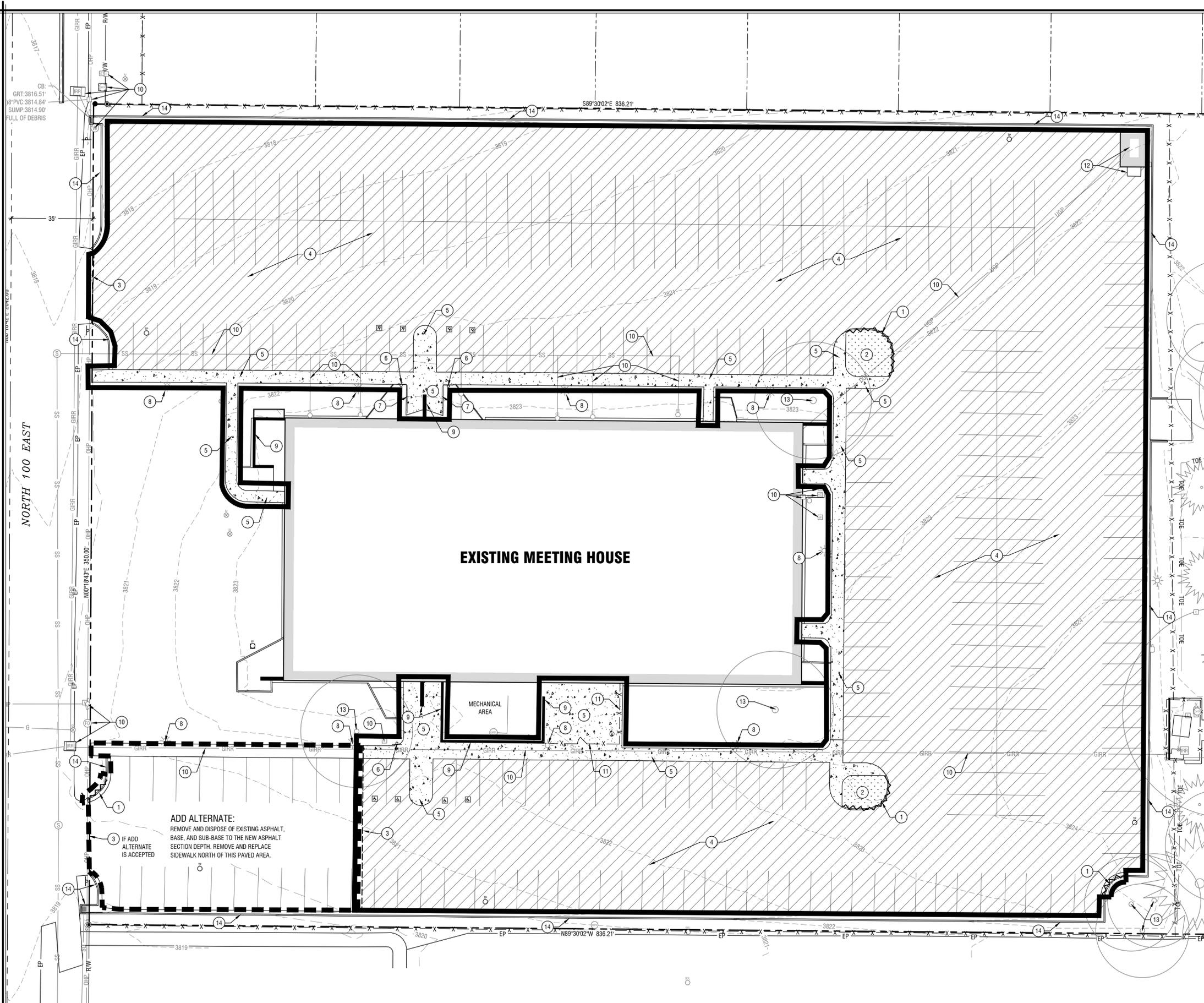
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JEROME 1, 4, 6 & - PARKING LOT REPLACEMENT
JEROME IDAHO STAKE
26 NORTH 100 EAST (506 TIGER DRIVE NORTH)
JEROME, IDAHO 83338
ARCHITECTURAL SITE PLAN

NO.	REVISION	DATE
1		
2		
3		

PROJECT NUMBER: 22313

PROPERTY NUMBER: 520270220201	SHEET #
DRAWN BY: G. U.	AS101
CHECKED BY: G. U.	
DATE: SEPT. 29, 2023	



Sheet Notes:

- A. CONTRACTOR SHALL COORDINATE DEMOLITION WORK WITH PROPOSED IMPROVEMENT PLANS FOR EXACT LOCATION OF ITEMS TO REMAIN. CONTRACTOR SHALL PERFORM ALL REQUIRED DEMOLITION WORK TO ALLOW FOR ALL PROPOSED IMPROVEMENTS WHETHER SHOWN OR NOT.
- B. UNDERGROUND UTILITIES AS SHOWN ON THESE PLANS HAVE BEEN LOCATED AS MARKED IN THE FIELD BY DIGLINE AND APPLICABLE UTILITY COMPANIES, AND BASED ON FACILITY MAPS PROVIDED BY THE OWNER. THE SURVEYOR HAS NOT PHYSICALLY LOCATED UNDERGROUND UTILITIES. PRIOR TO BEGINNING WORK, THE CONTRACTOR SHALL CONTACT DIGLINE TO MARK ALL UNDERGROUND UTILITIES WITHIN THE PROJECT AREA. CONTACT DIGLINE AT 1-800-342-1585. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES WITHIN THE PROJECT AREA.
- C. EXISTING CONTOURS ARE AT 1-FOOT INTERVALS.
- D. RETAIN AND PROTECT EXISTING IMPROVEMENTS OUTSIDE WORK LIMIT BOUNDARY UNLESS MARKED FOR DEMOLITION.
- E. RETAIN AND PROTECT EXISTING UTILITIES AND ASSOCIATED STRUCTURES UNLESS MARKED FOR DEMOLITION.
- F. DEMOLITION AND CONSTRUCTION SHALL BE COORDINATED AS TO NOT INTERRUPT THE USE OF EXISTING FACILITIES. IF AN INTERRUPTION IS REQUIRED, THE CONTRACTOR MUST OBTAIN WRITTEN APPROVAL FROM THE OWNER.

Demolition Legend:

- REMOVE EXISTING ITEMS AS INDICATED AND DISPOSE OF OFF-SITE.
- REMOVE EXISTING LANDSCAPE AND UNDERGROUND IRRIGATION IN THIS AREA.
- REMOVE AND DISPOSE OF EXISTING ASPHALT, BASE MATERIAL, AND SUBBASE TO NEW ASPHALT SECTION DEPTH.
- REMOVE AND DISPOSE OF EXISTING CONCRETE.

Demolition Keynotes: CALLOUT NUMBERS COORDINATED TO NUMBERED NOTES BELOW.

- 1. REMOVE AND DISPOSE OF EXISTING CURB.
- 2. REMOVE AND DISPOSE OF EXISTING LANDSCAPING PER HATCHED LIMITS.
- 3. SAWCUT EXISTING SURFACE IN A NEAT STRAIGHT LINE.
- 4. REMOVE AND DISPOSE OF EXISTING ASPHALT, BASE, AND SUB-BASE TO THE NEW ASPHALT SECTION DEPTH PER HATCHED LIMITS. EXISTING BASE MATERIAL CAN BE INCORPORATED INTO THE NEW SUB-BASE AT THE GEOTECHNICAL ENGINEERS DIRECTION.
- 5. REMOVE AND DISPOSE OF EXISTING CONCRETE PER HATCHED LIMITS.
- 6. REMOVE AND DISPOSE OF EXISTING ADA SIGN.
- 7. REMOVE AND DISPOSE OF EXISTING HANDRAIL.
- 8. PRESERVE AND PROTECT EXISTING LIGHT POLE AND BASE.
- 9. PRESERVE AND PROTECT EXISTING WALL.
- 10. PRESERVE AND PROTECT EXISTING UTILITY LINES AND STRUCTURES.
- 11. PRESERVE AND PROTECT EXISTING FENCE.
- 12. PRESERVE AND PROTECT EXISTING BUILDING AND CONCRETE STOOP.
- 13. PRESERVE AND PROTECT EXISTING TREE.
- 14. PRESERVE AND PROTECT PERIMETER CURB AND GUTTER TO REMAIN.

Legend

- TEMPORARY BENCHMARK AS NOTED
- FIRE HYDRANT
- CLEAN OUT
- IRRIGATION VALVE
- POWER POLE
- ELECTRICAL VAULT
- LIGHT
- CATCH BASIN
- MONITOR WELL
- SIGN
- BOULDER
- FENCE LINE
- CURB, GUTTER & CONCRETE SIDEWALK
- DECIDUOUS TREE
- CONIFEROUS TREE
- EXISTING GROUND CONTOUR

Site Demolition Plan

Horizontal Scale: 1" = 20'



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Site Demolition Plan

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PROJECT NUMBER: 22313

PROPERTY NUMBER: 520270122020101

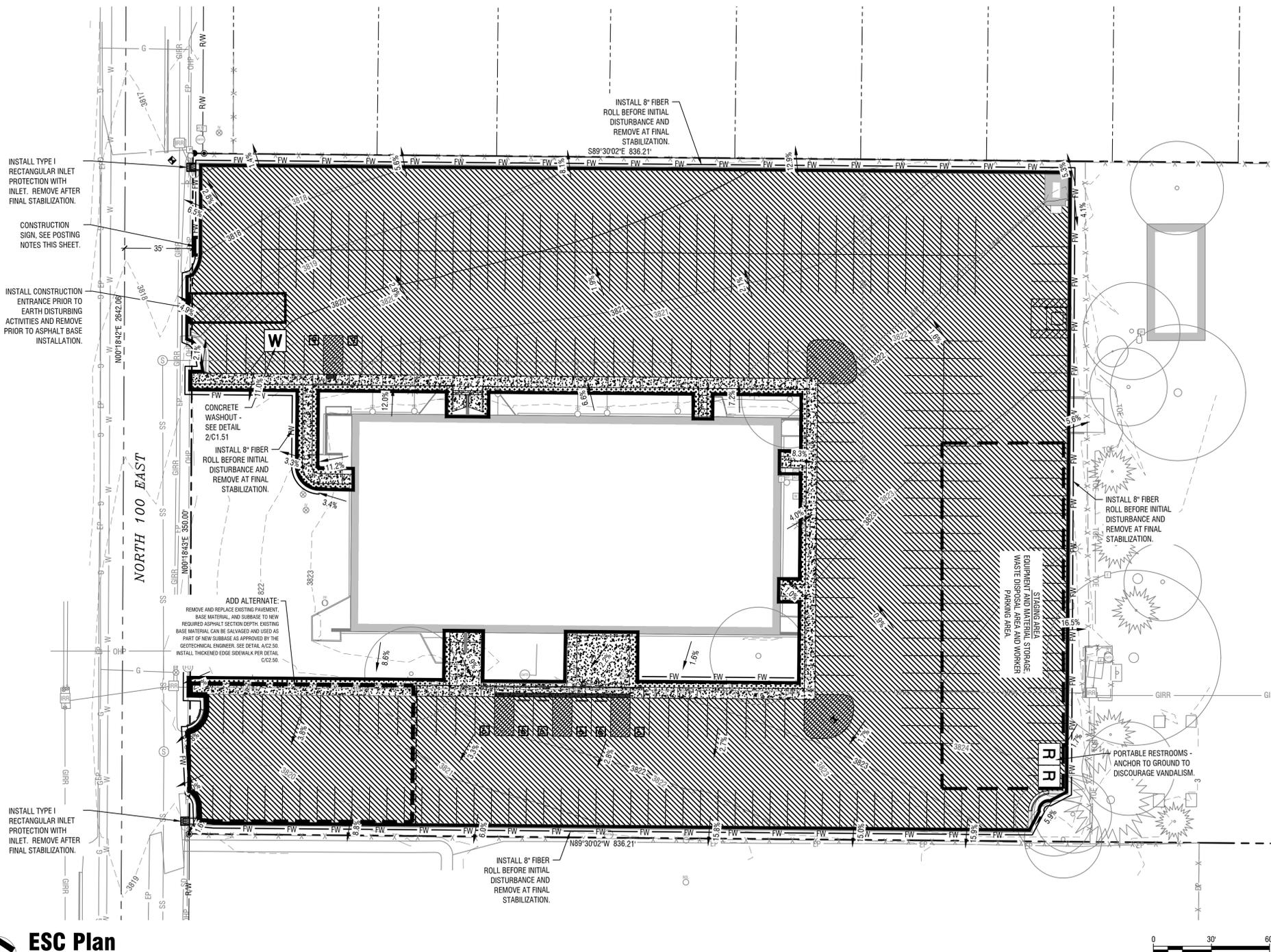
DRAWN BY: R.H.

CHECKED BY: J.G.

DATE: SEPT. 29, 2023

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ESC General Notes:

- ALL STORM WATER WILL BE CONTAINED ON SITE.
- ANY LAND CLEARING, CONSTRUCTION, OR DEVELOPMENT INVOLVING THE MOVEMENT OF EARTH SHALL BE IN ACCORDANCE WITH THE EROSION AND SEDIMENT CONTROL PLAN, AND THAT A RESPONSIBLE PERSON SHALL BE ON SITE ON ALL DAYS WHERE CONSTRUCTION OR GRADING ACTIVITY TAKES PLACE.
- ALL BMP'S SHALL BE INSPECTED AT A MINIMUM ONCE EVERY 14 DAYS AND WITHIN 24 HOURS OF A STORM EVENT PRODUCING 0.25 INCHES OR GREATER - OR - ONCE EVERY SEVEN DAYS.
INSPECTION FREQUENCY MAY BE REDUCED TO ONCE EVERY MONTH IF:
A. THE ENTIRE SITE IS TEMPORARILY STABILIZED, OR
B. RUNOFF IS UNLIKELY DUE TO WINTER CONDITIONS, OR
C. CONSTRUCTION IS OCCURRING DURING SEASONAL ARID PERIODS (MAY THROUGH SEPTEMBER) IN ARID AREAS AND SEMI-ARID AREAS.
- DEWATERING IS NOT EXPECTED FOR THIS SITE. ONSITE ESC CONTRACTOR IS RESPONSIBLE FOR ALL NON-STORMWATER MANAGEMENT, IF REQUIRED.
- STREET SWEEPING WILL BE IMPLEMENTED ON AN AS-NEEDED BASIS AS DETERMINED BY THE ESC COORDINATOR.
- WORKERS SHALL PARK ON THE AREA DESIGNATED AS WORKER PARKING OR AN OFF-SITE LOCATION IF PRE-APPROVED, COORDINATE WITH OWNER FOR LOCATION.
- LOCATE ALL PORTABLE RESTROOMS AS FAR FROM PUBLIC AND PRIVATE STORM DRAIN SYSTEMS AS POSSIBLE. ANCHOR TO PREVENT VANDALISM.
- SLURRY AND CUTTINGS FROM SAWCUTTING OF CONCRETE OR ASPHALT SHALL BE VACUUMED DURING CUTTING AND SURFACING OPERATIONS. SLURRY AND CUTTINGS SHALL NOT REMAIN ON PERMANENT CONCRETE OR ASPHALT PAVEMENT OVERNIGHT. SLURRY AND CUTTINGS SHALL NOT DRAIN TO ANY NATURAL OR CONSTRUCTED DRAINAGE CONVEYANCE. COLLECTED SLURRY AND CUTTINGS SHALL BE DISPOSED OF IN A MANNER THAT DOES NOT VIOLATE GROUNDWATER OR SURFACE WATER QUALITY STANDARDS.
- ALL EXCESS MATERIALS SHALL BE HAULED OFF SITE AND DISPOSED OF AT AN APPROVED LOCATION. EXCESS MATERIAL MAY BE TEMPORARILY STORED ON SITE (IF APPROVED BY THE OWNER) AT A PRE-APPROVED LOCATION. IF MATERIAL IS STOCKPILED FOR MORE THAN 14 DAYS STOCKPILE IS TO BE STABILIZED PER IDAHO CATALOG OF STORM WATER BEST MANAGEMENT PRACTICES BMP #44.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE ISPPWC.
- ALL GRADING, UTILITY, AND ROADWAY CONSTRUCTION SHALL BE LIMITED TO THE HOURS BETWEEN 7:00 A.M. AND 9:00 P.M. MONDAY THROUGH FRIDAY AND 8:00 A.M. TO 9:00 P.M. SATURDAY AND SUNDAY, UNLESS OTHERWISE APPROVED BY THE DESIGNER OR THE ONSITE RESPONSIBLE PERSON.
- ANY MODIFICATIONS TO THIS PLAN REQUIRE APPROVAL OF THE DESIGNER OR THE ONSITE RESPONSIBLE PERSON.
- TOTAL DISTURBED AREA IS APPROXIMATELY 0.96 ACRES.
- UPON CONTRACT APPROVAL BY THE CONTRACTOR, IT IS RECOGNIZED THAT THE CONTRACTOR HAS REVIEWED THE PLAN DRAWINGS AND THE CONTRACTOR AGREES TO ABIDE BY THE REQUIREMENTS AND CONDITIONS CONTAINED HEREIN.
- PROVIDE WASTE CONTAINERS FOR BUILDING MATERIALS IN WASTE STORAGE CONTAINMENT AREA. WASTE DISPOSAL DUMPSTERS MUST HAVE LIDS, OR PROVIDE COVER OR A SIMILARLY EFFECTIVE MEANS TO MINIMIZE THE DISCHARGE OF POLLUTANTS. KEEP WASTE CONTAINER LIDS CLOSED WHEN NOT IN USE AND AT THE END OF THE BUSINESS DAY, DISPOSE AT A FREQUENCY ACCORDING TO CONTAINER SIZE.
- ALL DROP INLETS, CATCH BASINS, AND CURB INLETS NOTED ON PLAN SHALL HAVE INLET PROTECTION PROVIDED. SEE THE ESC PLAN (C1.50) AND DETAILS ON SHEET C1.51 AND MANUFACTURER'S GUIDELINES FOR INSTALLATION INSTRUCTIONS.

Contact Information:

OWNER/DEVELOPER: THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS
50 E NORTH TEMPLE STREET FLOOR 4WW
SALT LAKE CITY, UT 84150
PRIMARY CONTACT: ALLAN CHRISTEAN
PH: 208.557.9079

CONTRACTOR: TO BE DETERMINED BY BID

ONSITE ESC COORDINATOR: TBD
CONTACT: PHONE (CELL):

PLAN PREPARER: THE LAND GROUP, INC.
462 E. SHORE DR., STE. 100
EAGLE, IDAHO 83616
PRIMARY CONTACT: ALISON LARK
PHONE: 208-939-4041

PROJECT ENGINEER: THE LAND GROUP, INC.
462 E. SHORE DR., STE. 100
EAGLE, IDAHO 83616
PRIMARY CONTACT: JAMES GUTE, PE
PHONE: 208.939.4041

ESC Legend:

- APPROXIMATE LIMIT OF DISTURBANCE
- PROPOSED GROUND CONTOUR (ONE-FOOT INTERVAL) WITH DIRECTIONAL SLOPE ARROWS
- APPROXIMATE EXISTING GROUND CONTOUR (ONE-FOOT INTERVAL) WITH DIRECTIONAL SLOPE ARROWS
- PORTABLE RESTROOM PER THE STATE OF IDAHO CATALOG OF STORM WATER BEST MANAGEMENT PRACTICES BMP #50.
- CONCRETE WASHOUT PER THE STATE OF IDAHO CATALOG OF STORM WATER BEST MANAGEMENT PRACTICES BMP #49. SEE SHEET C1.51 FOR DETAILS.
- MATERIALS STORAGE, STAGING, AND PARKING AREAS PER THE STATE OF IDAHO CATALOG OF STORM WATER BEST MANAGEMENT PRACTICES BMP #37.
- PROVIDE STABILIZED ENTRANCE PER THE STATE OF IDAHO CATALOG OF STORM WATER BEST MANAGEMENT PRACTICES BMP #40. THIS SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION UNTIL MATERIAL IS INSTALLED. PROVIDE SWEEPING DAILY OR AS NEEDED TO REMOVE ANY TRACKING OF MUD AND/OR DIRT ONTO EXISTING ASPHALT. SEE SHEET C1.51 FOR DETAILS.
- FIBER ROLL PER STATE OF IDAHO CATALOG OF STORM WATER BEST MANAGEMENT PRACTICES BMP #64. SEE DETAILS ON SHEET C1.51.
- ASPHALT STABILIZATION AREAS, COORDINATE WITH MATERIALS SHEETS.
- LANDSCAPE STABILIZATION AREAS PER THE STATE OF IDAHO CATALOG OF STORM WATER BEST MANAGEMENT PRACTICES BMP #32. COORDINATE WITH LANDSCAPE SHEETS.
- CONCRETE STABILIZATION AREAS, COORDINATE WITH MATERIALS SHEETS.
- DROP INLET PROTECTION TYPE I PER BMP #13. SEE SHEET C1.51 FOR DETAILS.

ESC Plan

Horizontal Scale: 1" = 30'

Soil Stabilization:

- IF SEDIMENT ESCAPES THE CONSTRUCTION SITE, OFF-SITE ACCUMULATIONS OF SEDIMENT MUST BE REMOVED AT A FREQUENCY SUFFICIENT TO MINIMIZE OFF-SITE IMPACTS.
 - LITTER, CONSTRUCTION DEBRIS, AND CONSTRUCTION CHEMICALS THAT COULD BE EXPOSED TO STORM WATER MUST BE PREVENTED FROM BECOMING A POLLUTANT SOURCE IN STORM WATER DISCHARGES.
 - EXCEPT AS PROVIDED BELOW, STABILIZATION MEASURES MUST BE INITIATED AS SOON AS PRACTICAL IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED.
 - WHERE STABILIZATION BY THE 14th DAY IS PRECLUDED BY SNOW COVER OR FROZEN GROUND CONDITIONS, STABILIZATION MEASURES MUST BE INITIATED AS SOON AS PRACTICAL.
 - WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 14 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.
- NOTE: ONE OF THE FOLLOWING TEMPORARY SOIL STABILIZATION PRACTICES SHALL BE IMPLEMENTED ON ALL DISTURBED AREAS AND/OR WHERE SHOWN ON PLAN, UNLESS CONDITIONS AS LISTED ABOVE DICTATE OTHERWISE:
- MULCHING (BMP 52) - APPLY GRAVEL, STRAW, GRASS, COMPOST, WOOD CHIPS OR WOOD FIBERS TO DISTURBED AREAS TO PREVENT EROSION. SEE APPENDIX F OF THE ESC/SWPPP NARRATIVE FOR A COMPLETE DESCRIPTION, **AND/OR**:
 - GEOTEXTILE (BMP 53) - APPLY NONBIODEGRADABLE SYNTHETIC FABRIC TO DISTURBED AREAS TO PREVENT EROSION. SEE APPENDIX F OF THE ESC/SWPPP NARRATIVE FOR A COMPLETE DESCRIPTION, **AND/OR**:
 - MATTING (BMP 54) - APPLY BIODEGRADABLE WOVEN OR JUTE FIBER MAT TO DISTURBED AREAS TO PREVENT EROSION. SEE APPENDIX F OF THE ESC/SWPPP NARRATIVE FOR A COMPLETE DESCRIPTION.
- PERMANENT SOIL STABILIZATION BMP'S:
SEEDING (BMP 32), SOODING (BMP 32), AND PLANTING (BMP 32) - COORDINATE WITH THE APPROVED LANDSCAPE PLAN FOR LOCATIONS AND TIMING.

L.E.W. Posting Requirements:

- THE OPERATORS (CONTRACTOR AND OWNER/DEVELOPER) ARE RESPONSIBLE FOR APPLYING FOR OBTAINING THE EPA LOW EROSIIVITY WAIVER (LEW) FROM THE EPA AND WEBSITE.
- A COMPLETE COPY OF THE LEW AND THE EROSION & SEDIMENT CONTROL (ESC) PLAN SHALL BE HELD ON SITE AND MADE AVAILABLE FOR REVIEW BY EPA, STATE, COUNTY, OR CITY OFFICIALS.

ESC Posting Requirements:

- ALL CONSTRUCTION PROJECTS WHICH HOLD AN EROSION CONTROL PERMIT SHALL DISPLAY A SIGN AT THE MAIN ENTRANCE OF THE PROPERTY INDICATING THE FOLLOWING:
- ADDRESS OF THE PROPERTY, IF ONE HAS BEEN ASSIGNED, OR A LOT OR BLOCK NUMBER,
 - THE ESC PERMIT NUMBER, THE EPA PERMIT NUMBER (IF APPLICABLE),
 - THE RESPONSIBLE PERSON'S NAME AND PHONE NUMBER,
 - THE STORMWATER POLLUTION HOTLINE PHONE NUMBER

ALL REQUIRED WRITING ON THE SIGNS SHALL BE LEGIBLE AND OF SUFFICIENT SIZE TO BE EASILY READ FROM THE STREET.
ESC AND ANY WAIVER DOCUMENTS MUST BE MADE AVAILABLE UPON REQUEST BY EPA, A STATE, TRIBAL, OR OTHER LOCAL APPROVING AGENCY.

Note: This project meets the requirements for a Low Erosivity Waiver for Small Construction Projects:

- Disturbed Area is less than 5.0 ac
- The Erosivity Index is 2.01 which is below the threshold of 5.0

The above is based on a start date of 05.01.2024 and an end date of 08.31.2024. If the construction time increases, a new calculation will need to be completed.

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PROJECT NUMBER: 22313

PROPERTY NUMBER: 520270122020101

DRAWN BY: R.H.

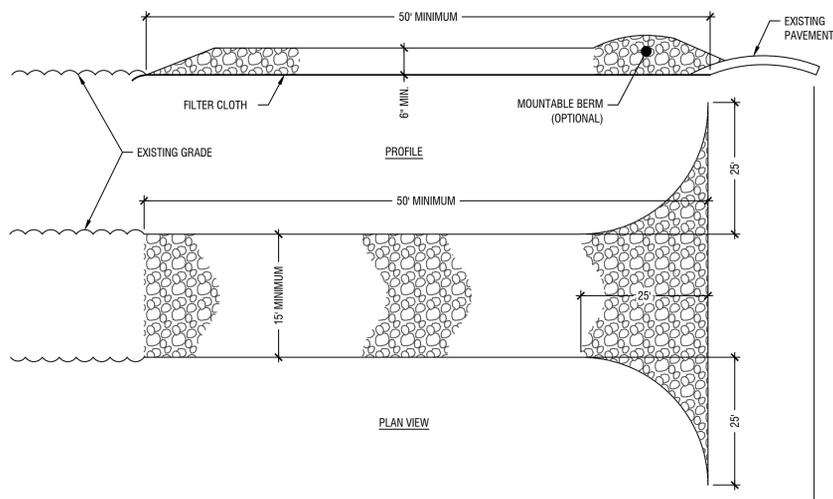
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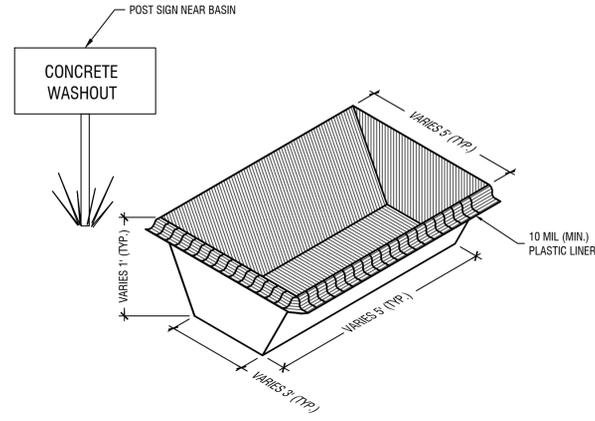
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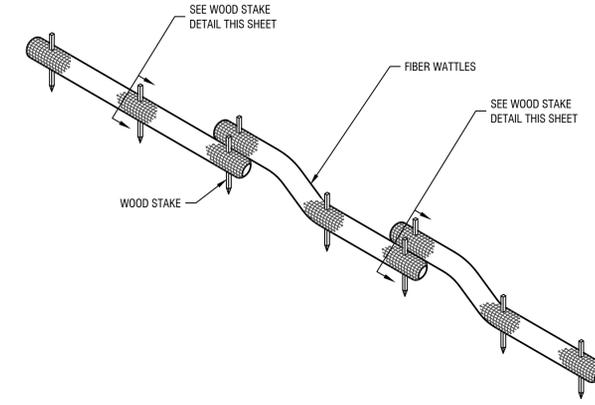
ESC Plan



- CONSTRUCTION SPECIFICATIONS**
1. STONE SIZE-USE CRUSHED 2" STONE OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT FOR TOP LAYER, 2"-8" DIAMETER FOR BASE LAYER.
 2. LENGTH-AS REQUIRED, BUT NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
 3. THICKNESS-NOT LESS THAN 6 INCHES.
 4. WIDTH-10 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
 5. FILTER CLOTH WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE LOT.
 6. ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
 7. MAINTENANCE-THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.
 8. WASHING-WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.



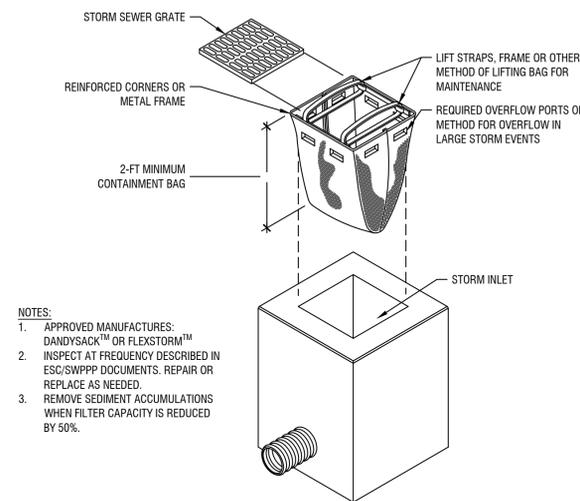
- NOTES**
1. DIMENSIONS VARY. RESPONSIBLE PERSON SHALL SIZE BASIN APPROPRIATELY.
 2. SELF CONTAINED MOBILE WASHOUTS WITH DELIVERY AND REMOVAL SERVICES ARE ACCEPTABLE.



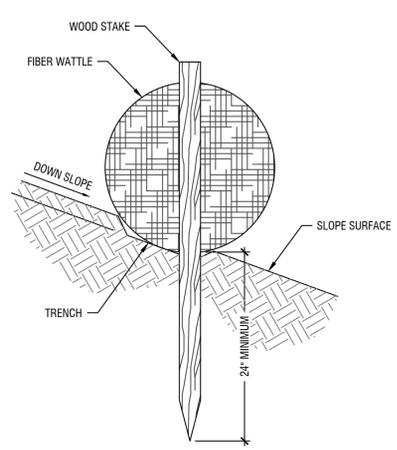
1 Stabilized Construction Entrance (BMP 40)
Scale: NTS

2 Concrete Washout (BMP 49)
Scale: NTS

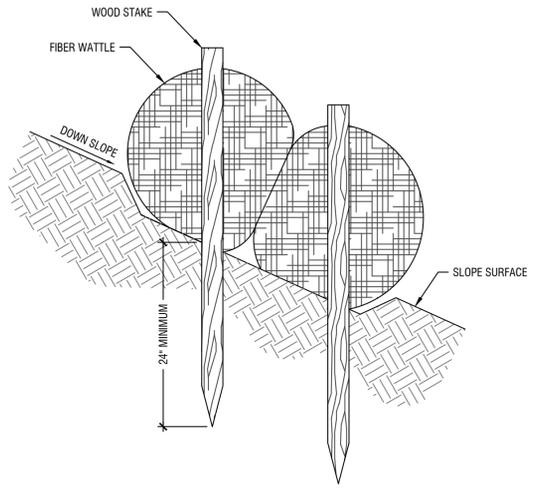
3 Fiber Roll (BMP 64)
Scale: NTS



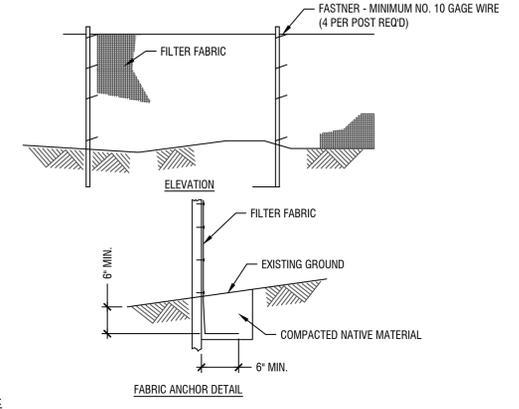
- NOTES:**
1. APPROVED MANUFACTURERS: DANDYSACK™ OR FLEXSTORM™
 2. INSPECT AT FREQUENCY DESCRIBED IN ESC/SWPPP DOCUMENTS. REPAIR OR REPLACE AS NEEDED.
 3. REMOVE SEDIMENT ACCUMULATIONS WHEN FILTER CAPACITY IS REDUCED BY 50%.



5 Fiber Roll Stake Section (BMP 64)
Scale: NTS



6 Fiber Roll Stake Section 2 (BMP 64)
Scale: NTS



- NOTES:**
1. TEMPORARY SEDIMENT FENCE SHALL BE INSTALLED PRIOR TO ANY GRADING WORK IN THE AREA TO BE PROTECTED. THEY SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD AND REMOVED IN CONJUNCTION WITH THE FINAL GRADING AND SITE STABILIZATION.
 2. FILTER FABRIC SHALL BE CLASS 1 WITH EQUIVALENT OPENING SIZE OF AT LEAST 30 FOR NONWOVEN AND 50 FOR WOVEN.
 3. FENCE POSTS SHALL BE EITHER STANDARD STEEL POST OR WOOD POST WITH A MINIMUM CROSS-SECTIONAL AREA OF 3.0 SQ. IN.

4 Drop Inlet Protection Type I (BMP 13)
Scale: NTS

7 Silt Fence Install 1 (BMP 65)
Scale: NTS

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THE CHURCH OF
JESUS CHRIST
OF LATTER-DAY SAINTS

JEROME 1, 4, 6 & - PARKING LOT REPLACEMENT
JEROME IDAHO STAKE
26 NORTH 100 EAST (506 TIGER DRIVE NORTH)
JEROME, IDAHO 83338

ESC Details



NO.	REVISION	DATE
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PROJECT NUMBER: 22313

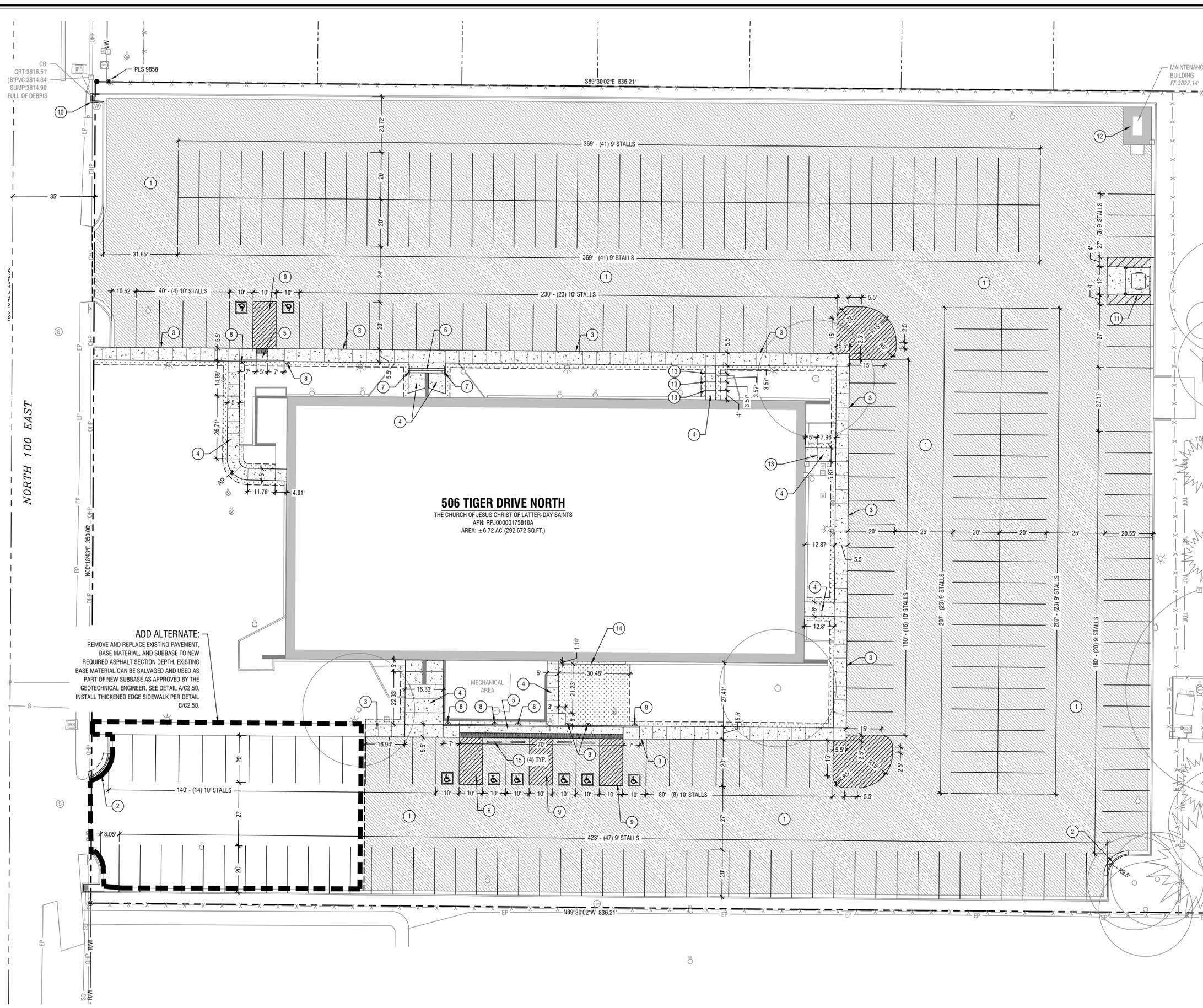
PROPERTY NUMBER: 520270122020101

DRAWN BY: R.H.

CHECKED BY: J.G.

DATE: SEPT. 29, 2023

C1.51



Sheet Notes

- A. CONTRACTOR SHALL COMPLY WITH GENERAL NOTES, PLAN SHEET C3.00.
- B. COORDINATE INSTALLATION OF ELECTRICAL AND IRRIGATION CONDUIT AND SLEEVES WITH RESPECTIVE CONTRACTORS.
- C. TRANSITION OF CURVES TO OTHER CURVES AND CURVES TO TANGENTS SHALL BE SMOOTH AND CONTINUOUS.
- D. CONTRACTOR SHALL REFER TO SPECIFICATIONS AND DETAILS FOR ADDITIONAL REQUIREMENTS.
- E. CONTRACTOR SHALL COMPLY WITH ADA ACCESSIBILITY GUIDELINES THROUGHOUT THE DURATION OF THE PROJECT AS REQUIRED BY THE AUTHORITY HAVING JURISDICTION.

Key Notes

- 1. REMOVE AND REPLACE EXISTING PAVEMENT, BASE MATERIAL, AND SUBBASE TO NEW REQUIRED ASPHALT SECTION DEPTH. EXISTING BASE MATERIAL CAN BE SALVAGED AND USED AS PART OF NEW SUBBASE AS APPROVED BY THE GEOTECHNICAL ENGINEER. SEE DETAIL A/C2.50.
- 2. INSTALL CATCH PLATE CURB AND GUTTER AS SHOWN TO REPAIR BROKEN CURB. PER DETAIL B/C2.50 OR MATCH EXISTING.
- 3. INSTALL THICKENED EDGE SIDEWALK PER DETAIL C/C2.50.
- 4. CONCRETE FLATWORK PER DETAIL D&E/C2.50.
- 5. CONSTRUCT ACCESSIBLE RAMP PER DETAIL F/C2.50.
- 6. CONSTRUCT STAIRS PER DETAIL G/C2.50.
- 7. CONSTRUCT HANDRAIL PER DETAIL H/C2.50.
- 8. INSTALL ACCESSIBLE SIGNS PER DETAIL I/C2.50.
- 9. INSTALL ACCESSIBLE STRIPING PER DETAIL J/C2.50.
- 10. INSTALL VERTICAL CURB AROUND EXISTING INLET PER DETAIL H/C2.50.
- 11. CHAIN LINK TRASH ENCLOSURE PER DETAIL A/C2.51.
- 12. EXISTING STRUCTURE. PRESERVE AND PROTECT.
- 13. CONCRETE STEP. SEE GRADING PLAN SHEET C4.00 FOR MORE INFORMATION.
- 14. CONCRETE CURB STRIP PER DETAIL C/C2.51.
- 15. CONCRETE PARKING STOP PER DETAIL D/C2.51.

Material Legend

- LANDSCAPE AND IRRIGATION REPAIR AS REQUIRED. COORDINATE WITH ARCHITECTURAL PLANS.
- CONCRETE FLATWORK, REFERENCE DETAILS E&F/C2.50.
- ASPHALT REPLACEMENT, REFERENCE DETAIL A/C2.50.
- EXISTING TREE TO BE PRESERVED AND PROTECTED.

Line Legend

- PROPERTY BOUNDARY LINE.
- CATCH PLATE CURB AND GUTTER, REFERENCE DETAIL B/C2.50.



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 JEROME, IDAHO 83338
Site Layout Plan

NO.	REVISION	DATE
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PROJECT NUMBER: 22313

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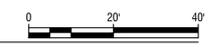
CHECKED BY: J.G.

DATE: SEPT. 29, 2023



C2.00

Site Layout Plan
 Horizontal Scale: 1" = 20'



11.6 FN 122066



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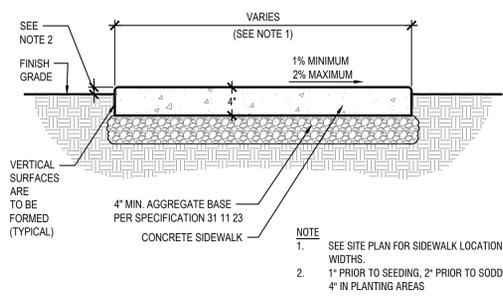
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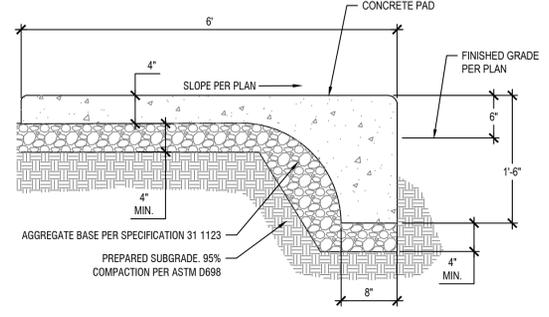
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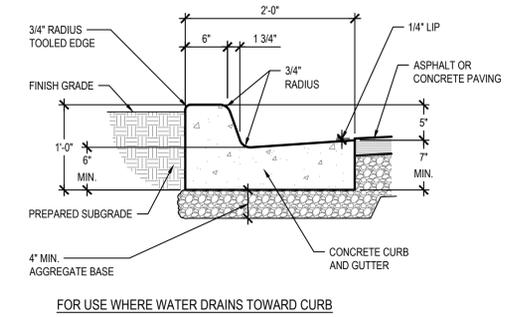
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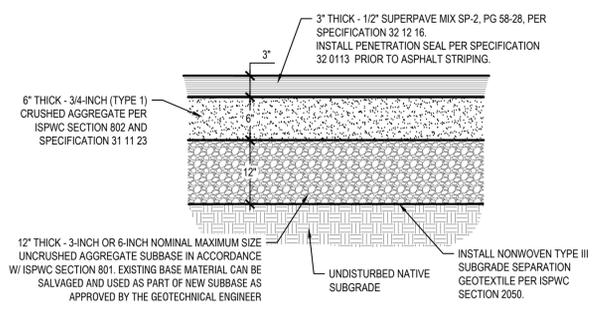
D CONCRETE FLATWORK
 SCALE: N.T.S.



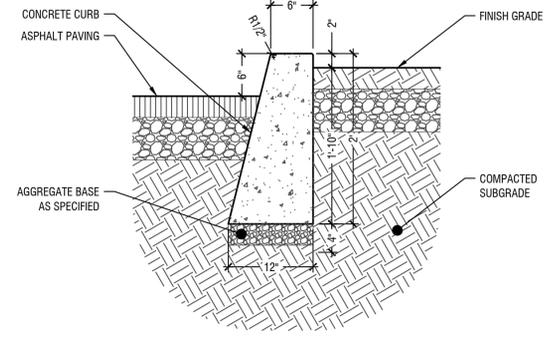
C THICKENED EDGE SIDEWALK
 SCALE: N.T.S.



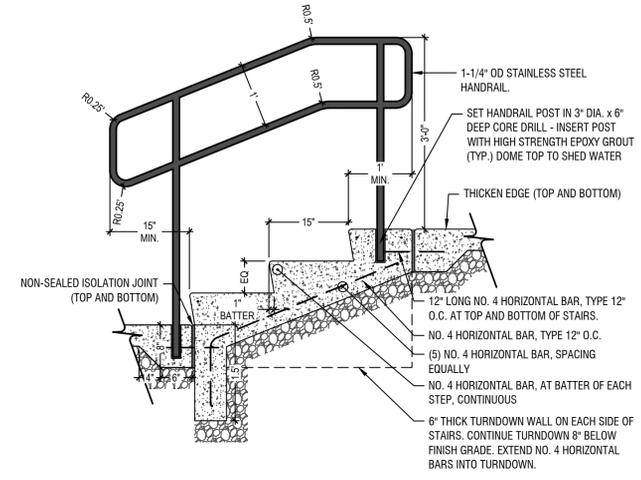
B CURB AND GUTTER - CATCH PLATE
 SCALE: N.T.S.



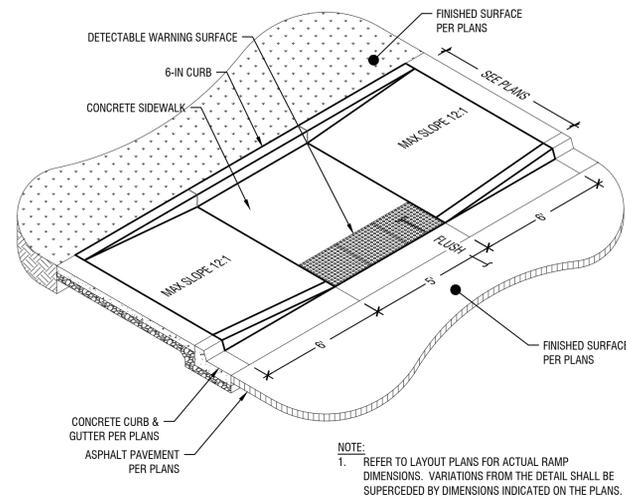
A PAVING SECTION
 SCALE: N.T.S.



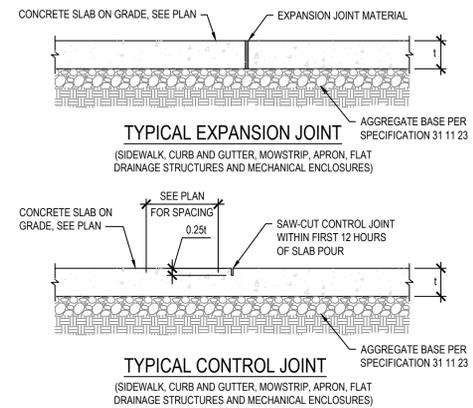
H VERTICAL CURB
 SCALE: N.T.S.



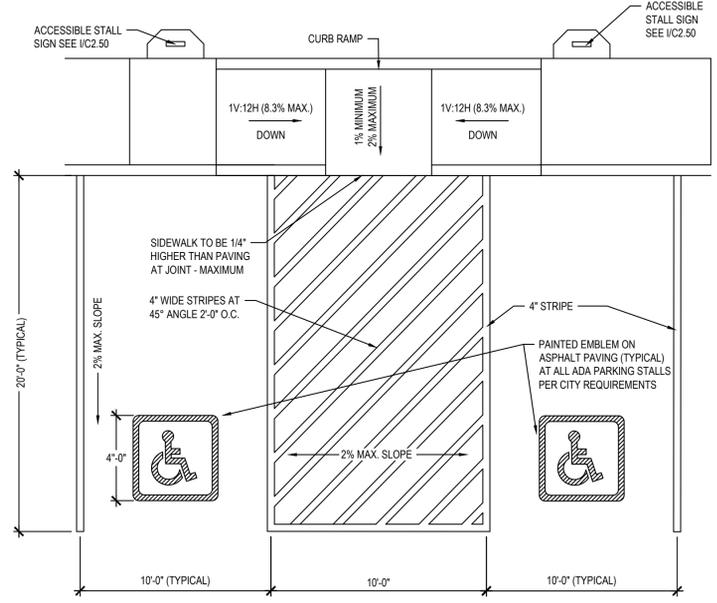
G STAIRS SECTION
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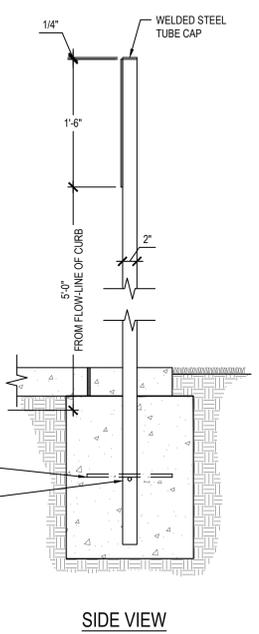
F ACCESSIBLE RAMP
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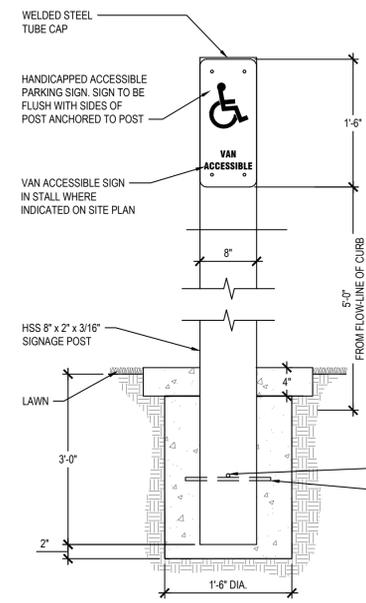
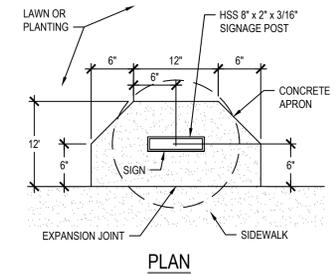
E EXPANSION AND CONTROL JOINT
 SCALE: N.T.S.



J ACCESSIBLE PARKING
 SCALE: N.T.S. (SEE ANSI A117.1)



I ACCESSIBLE STALL SIGN (TRAFFIC SIGNAGE)
 SCALE: N.T.S.



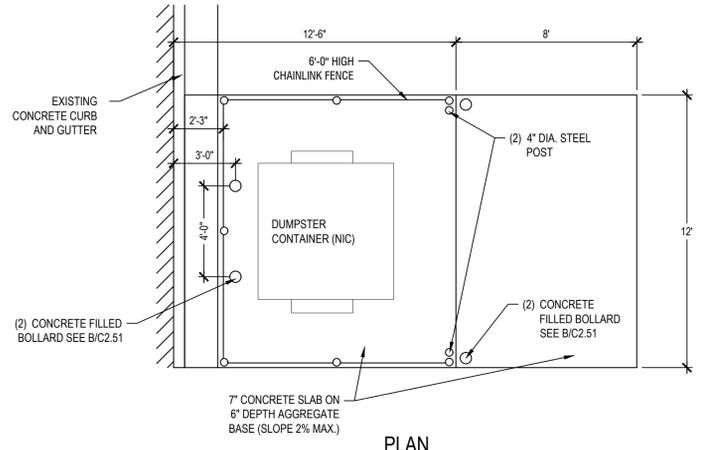


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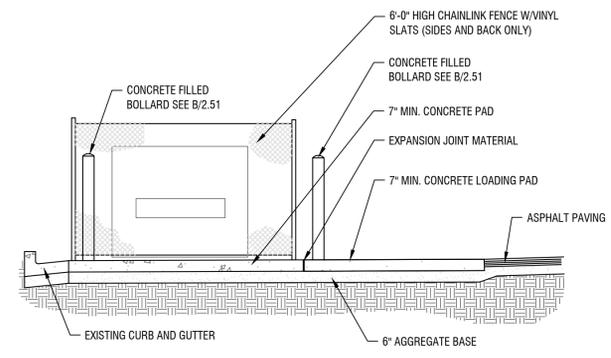
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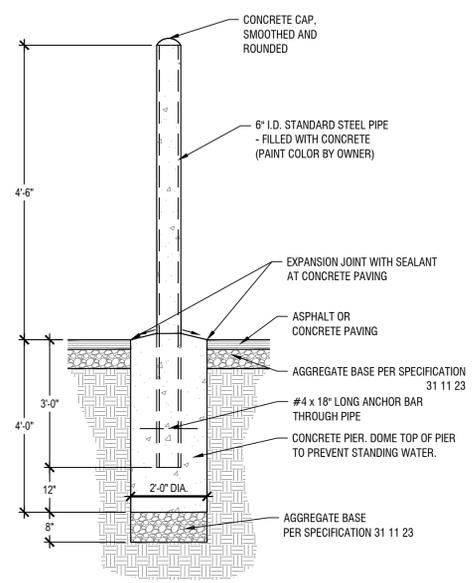
Site Details



PLAN

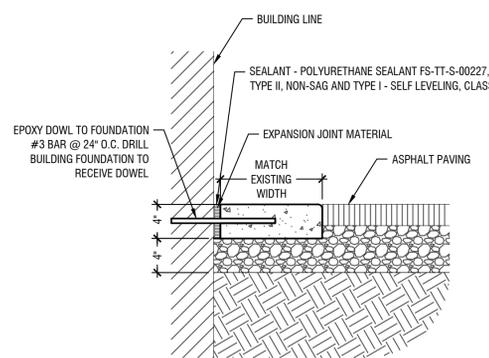


SECTION

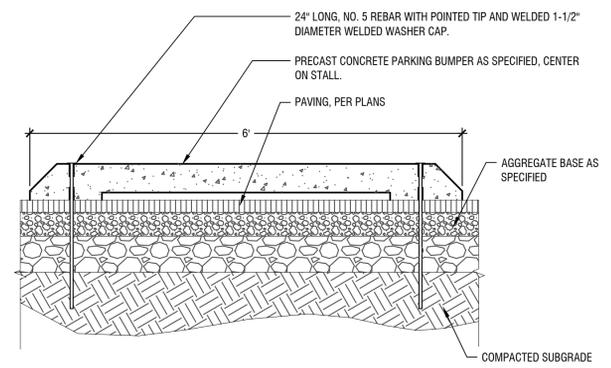


B CONCRETE BOLLARD
 SCALE: N.T.S.

A CHAIN LINK DUMPSTER ENCLOSURE
 SCALE: N.T.S.



PLAN



NOTES:
 1. CENTER OF WHEEL STOPS TO BE LOCATED 3' FROM BACK EDGE OF SPUR OR EDGE OF ASPHALT.
 1. SEE PLANS FOR QUANTITIES AT INDIVIDUAL SITES.

D CONCRETE PARKING STOP
 SCALE: N.T.S.

C CONCRETE CURB STRIP
 SCALE: N.T.S.



NO.	REVISION	DATE
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PROJECT NUMBER: 22313

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CHECKED BY: J.G.

DATE: SEPT. 29, 2023

SHEET # **C2.51**

FILE # 122066

Engineer's Standard Notes:

1. THE CONTRACTOR SHALL AT ALL TIMES COORDINATE HIS WORK WITH THAT OF OTHERS ON THE SITE. THE CONTRACTOR SHALL HAVE A RESPONSIBLE PARTY WHO SHALL HAVE THE AUTHORITY TO REPRESENT AND ACT FOR THE CONTRACTOR ON THE JOB SITE DURING ALL WORKING HOURS.
2. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING ALL WORK INDICATED IN THESE PLANS AND SPECIFICATIONS. ANY ITEM INDICATED IN THESE PLANS, BUT NOT ITEMIZED IN THE BID SCHEDULE, WILL BE INCLUDED UNDER A BID SCHEDULE ITEM TO WHICH IT MOST PERTAINS.
3. THE CONTRACTOR SHALL EXAMINE THE SITE, COMPARE IT WITH THE PLANS AND SPECIFICATIONS, CAREFULLY EXAMINE ALL OF THE CONTRACT DOCUMENTS, AND SATISFY HIMSELF AS TO THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED BEFORE ENTERING INTO CONTRACT. NO ALLOWANCE SHALL SUBSEQUENTLY BE MADE ON BEHALF OF THE CONTRACTOR ON ACCOUNT OF AN ERROR ON HIS PART AND/OR HIS NEGLIGENCE AND/OR FAILURE TO ACQUAINT HIMSELF WITH THE CONDITIONS OF THE SITE.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING STREETS OR SIDEWALKS DURING THE CONSTRUCTION OF THIS PROJECT, AND SHALL REPAIR SUCH DAMAGE TO THE SATISFACTION OF THE GOVERNING AGENCY, AT NO EXTRA COST TO THE OWNER.
5. ALL MATERIALS AND FINISHES SHALL BE AS PER DRAWINGS, DETAILS AND SPECIFICATIONS. SOME MATERIALS MAY REQUIRE SEVERAL WEEK ORDER LEAD TIME. CONTRACTOR IS RESPONSIBLE FOR DETERMINING ANY AND ALL ORDERING LEAD TIMES, AND PROVIDING REQUIRED MATERIALS AT THE PROJECT SITE IN A TIMELY MANNER. NO UNAPPROVED SUBSTITUTIONS WILL BE ALLOWED. CONTACT THE DESIGN ENGINEER IMMEDIATELY IF A SPECIFIED MATERIAL IS NOT AVAILABLE.
6. ALL EXISTING CONDITIONS AND STRUCTURES, NOT SPECIFICALLY NOTED FOR REMOVAL, SHALL BE RETAINED AND PROTECTED. EXISTING CONDITIONS AND STRUCTURES THAT ARE DAMAGED DURING THE COURSE OF CONSTRUCTIONS SHALL BE REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
7. THE CONTRACTOR SHALL MAKE ARRANGEMENTS WITH UTILITY COMPANIES AND IS RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH TEMPORARY UTILITIES NECESSARY DURING CONSTRUCTION. CONTRACTOR IS RESPONSIBLE TO PAY ALL UTILITY COSTS DURING CONSTRUCTION AND INCLUDING THE MAINTENANCE PERIOD. COSTS FOR TEMPORARY UTILITIES ARE A PART OF THE BASE BID.
8. THE CONTRACTOR SHALL PERFORM ALL CLEARING AND SITE PREPARATION NECESSARY FOR THE PROPER EXECUTION OF ALL WORK INDICATED ON THESE PLANS AND SPECIFICATIONS.
9. ALL WORK IS TO BE PERFORMED BY LICENSED CONTRACTORS AND EXPERIENCED WORKERS.
10. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS NECESSARY TO COMPLETE THE WORK, UNLESS OTHERWISE NOTED.
11. CONTRACTOR SHALL CONFORM TO ALL LOCAL CODES.
12. THE LAND GROUP, INC. DOES NOT AND CANNOT GUARANTEE THE ACCURACY OF WORK DONE BY OTHERS AND INCLUDES THIS INFORMATION FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. THE CONTRACTOR IS RESPONSIBLE TO CONTACT THE OWNER'S REPRESENTATIVE TO REQUEST CLARIFICATION OF DISCREPANCIES BETWEEN THE INFORMATION SHOWN ON THIS PLAN AND INFORMATION SHOWN ELSEWHERE. IN THE EVENT THE CONTRACTOR PROCEEDS WITH CONSTRUCTION WITHOUT OFFICIAL CLARIFICATION FROM THE OWNER'S REPRESENTATIVE, HE SHALL BE LIABLE FOR THE COST OF CORRECTIVE WORK AND SHALL REPAIR OR RECONSTRUCT THE FAULTY WORK TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE AT NO ADDITIONAL COST TO THE OWNER.
13. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING, ERECTING AND MAINTAINING THE REQUIRED MATERIALS, EQUIPMENT AND MANPOWER NECESSARY FOR PUBLIC SAFETY AND TRAFFIC CONTROL WITHIN THE PROJECT LIMITS AND ON THE APPROACHES TO THE PROJECT.
14. THE CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR SHALL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY, AND THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY, AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL AND ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.
15. IF ANY ARCHEOLOGICAL, CULTURAL OR HISTORICAL RESOURCES, OR ARTIFACTS OR OTHER FEATURES ARE DISCOVERED DURING THE COURSE OF CONSTRUCTION ANYWHERE ON THE PROJECT SITE, WORK SHALL BE SUSPENDED IN THAT LOCATION UNTIL A QUALIFIED PROFESSIONAL ARCHEOLOGIST ASSESSES THE SIGNIFICANCE OF THE DISCOVERY. THE OWNER SHALL BE NOTIFIED IMMEDIATELY OF ANY FINDS. IN CONSULTATION WITH THE ARCHEOLOGIST AND THE GOVERNING AGENCY, APPROPRIATE MEASURES FOR PRESERVATION SHALL BE ESTABLISHED PRIOR TO THE COMMENCEMENT OF WORK.
16. THE LOCATION OF EXISTING UNDERGROUND UTILITIES ON THESE PLANS ARE APPROXIMATE. A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL UNDERGROUND FACILITIES, HOWEVER THE LAND GROUP, INC. OR ITS CONSULTANTS ASSUMES NO LIABILITY FOR THE ACCURACY OR COMPLETENESS OF THE EXISTING FACILITIES SHOWN HERE OR FOR THE EXISTENCE OF OTHER UNDERGROUND UTILITIES OR OBJECTS WHICH MAY BE DISCOVERED BUT ARE NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ANY EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE DUE TO CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL CONTACT DIGLINE 48 HOURS PRIOR TO ANY EXCAVATION. 1-800-342-1585.
17. DURING THE COURSE OF THE WORK, THE CONTRACTOR SHALL COORDINATE AND ACCOMMODATE OTHER CONTRACTORS, OPERATIONS OF THE OWNER, AND LOCAL AGENCIES.
18. NOTIFY THE DESIGN ENGINEER OR ARCHITECT PRIOR TO CONSTRUCTION IF INCONSISTENCIES, ERRORS OR DISCREPANCIES ARE FOUND IN THESE PLANS.
19. CONTRACTOR SHALL KEEP AN APPROVED SET OF PLANS ON-SITE AT ALL TIMES AND RECORD ASBUILT INFORMATION DURING THE COURSE OF CONSTRUCTION. UPON COMPLETION OF THE PROJECT, THE CONTRACTOR SHALL PROVIDE THE MARKED UP AS-BUILT PLANS TO THE DESIGN ENGINEER FOR PREPARATION AND SUBMITTAL OF RECORD DRAWINGS.
20. PER IDAHO CODE 55-1613 (AT THE EXPENSE OF THE CONTRACTOR) THE SURVEYOR THAT PROVIDES THE CONSTRUCTION SURVEYING IS RESPONSIBLE FOR LOCATING ALL PUBLIC LAND CORNERS AND PROPERTY CORNERS PRIOR TO THE START OF CONSTRUCTION. ALL MONUMENTS AND ACCESSORIES DAMAGED OR REMOVED DURING THE COURSE OF CONSTRUCTION MUST BE REESTABLISHED BY OR UNDER THE DIRECTION OF THE SURVEYOR.

Grading & Drainage Notes:

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (CURRENT EDITION), THESE PLANS AND THE PROJECT SPECIFICATIONS.
2. CONTRACTOR TO VERIFY ALL EXISTING ELEVATIONS NOTED ON THIS PLAN AND NOTIFY OWNERS REPRESENTATIVE WHEN ELEVATIONS DO NOT MATCH PLANS.
3. TEST PITS SHALL BE RE-EXCAVATED, REFILLED WITH STRUCTURAL FILL, AND COMPACTED TO DESIGN SPECIFICATIONS.
4. WASTE SOIL SHALL BE HAULED TO AN OFFSITE DISPOSAL SITE FURNISHED BY THE CONTRACTOR.
5. ALL FINISHED GRADES SHALL BE SMOOTH AND UNIFORM.
6. PROVIDE POSITIVE DRAINAGE TO ALL CATCH BASINS, DRAINAGE STRUCTURES, CURB CUTS, AND DRAINAGE SWALES.
7. CONTRACTOR IS RESPONSIBLE FOR SMOOTH TRANSITION BETWEEN ALL CURB, SIDEWALK AND OR CURB & GUTTER FOR PROPER STORM WATER CONVEYANCE.
8. ALL CONCRETE SIDEWALKS SHALL HAVE A MINIMUM OF ONE PERCENT (1%) AND MAXIMUM OF TWO PERCENT (2% MAX) CROSS SLOPE UNLESS OTHERWISE NOTED.
9. CONCRETE COLLARS SHALL BE POURED AT ALL STORM DRAINAGE INLETS, LANDSCAPE AREA DRAINS, AND MANHOLES. COLLARS SHALL BE PLACED IN ACCORDANCE WITH ISPWC SD-616.
10. PIPE TRENCH SHALL CONFORM TO DIVISION 300 OF THE LATEST EDITION OF THE ISPWC AND SD-301. BEDDING AND BACKFILL SHALL BE CONSTRUCTED PER SECTIONS 305 AND 306 OF THE ISPWC.
11. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT EXISTING UTILITIES AND IMPROVEMENTS. ANY DAMAGE TO EXISTING FACILITIES OR IMPROVEMENTS RESULTING FROM THE CONTRACTORS OPERATIONS, SHALL BE REPAIRED OR REPLACED AT CONTRACTORS EXPENSE.
12. CONTRACTOR IS RESPONSIBLE TO REMOVE ALL DEBRIS CREATED BY GRADING AND DRAINAGE OPERATIONS FROM LANDSCAPE PLANTER AREAS PRIOR TO INSTALLATION OF ANY LANDSCAPE MATERIALS BY THE LANDSCAPE CONTRACTOR.
13. ALL PROPOSED STORM DRAINAGE CATCH BASIN INLETS AND MANHOLES SHALL BE COVERED WITH FILTER FABRIC BY THE STORM DRAIN CONTRACTOR TO PREVENT CONTAMINATION OF STORM DRAINAGE FACILITIES. FABRIC SHALL NOT BE REMOVED UNTIL AFTER CONSTRUCTION IS COMPLETE AND LANDSCAPE TURF AREAS HAVE MATURED. COORDINATE WITH PROJECT ESC DOCUMENTS.
14. CARE SHALL BE TAKEN TO PREVENT DIRT AND OTHER SUPERFLUOUS MATERIALS FROM ENTERING STORM DRAINAGE FACILITIES DURING CONSTRUCTION.



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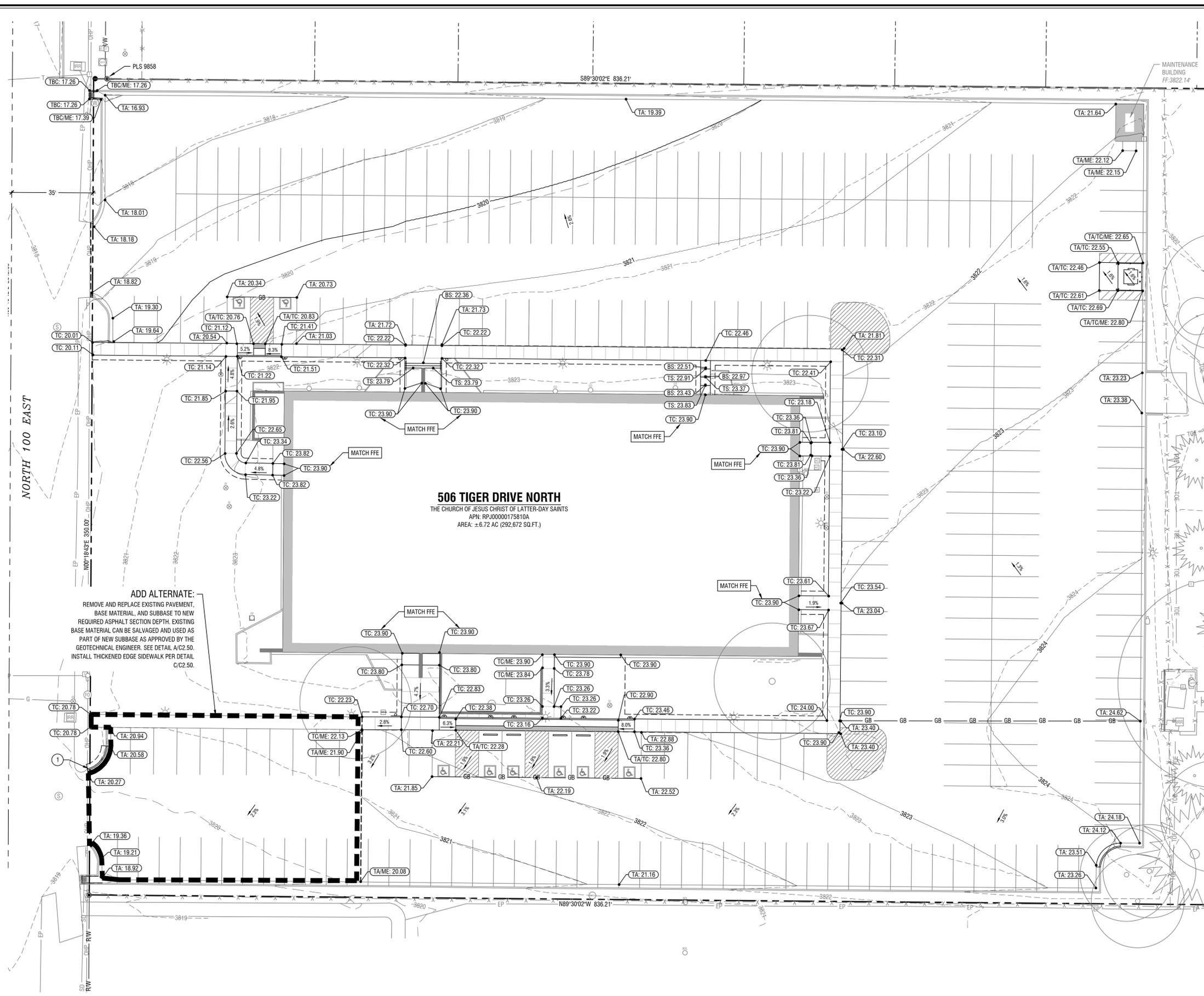
General Notes

NO.	REVISION	DATE
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PROJECT NUMBER: 22313

PROPERTY NUMBER: 520270122020101	SHEET #
DRAWN BY: R.H.	C3.00
CHECKED BY: J.G.	
DATE: SEPT. 29, 2023	





- Sheet Notes:**
- A. EXISTING AND PROPOSED CONTOURS ARE AT A 1-FT INTERVAL.
 - B. SLOPE IN THE DIRECTION OF TRAVEL ON ALL SIDEWALKS SHALL NOT EXCEED 5%. CROSS SLOPE SHALL NOT EXCEED 2% NO TOLERANCE ALLOWED. SLOPES WITHIN PEDESTRIAN RAMPS SHALL NOT EXCEED 1:21 SLOPE IN ANY DIRECTION. FLATWORK ADJACENT TO BUILDINGS SHALL NOT EXCEED 2.0% SLOPE OR HAVE CROSS SLOPE LESS THAN 1.0%.
 - C. ADD 3800 FEET TO ALL SPOT ELEVATIONS FOR ACTUAL ELEVATION.
 - D. BUILDING FINISH FLOOR ELEVATION 3823.90 REFERS TO ARCHITECTURAL ELEVATION 100'-0".
 - E. SPOT ELEVATIONS INDICATE LIP OF GUTTER UNLESS NOTED OTHERWISE AS FOLLOWS:
 - E.A. FFE = FINISH FLOOR ELEVATION
 - E.B. ME = MATCH EXISTING
 - E.C. TA = TOP OF ASPHALT
 - E.D. TC = TOP OF CONCRETE
 - E.E. FG = FINISH GRADE
 - E.F. TS = TOP OF STEP
 - E.G. BS = BOTTOM OF STEP
 - F. SET FLAT WORK ADJACENT TO BUILDING FLUSH WITH FINISH FLOOR AT DOOR OPENING AND UNIFORMLY TRANSITION TO REVEAL 6" OF STEM WALL UNLESS INDICATED OTHERWISE.

- Keynotes:**
- 1. CONSTRUCT CURB TERMINUS PER ISPCW SD-707.



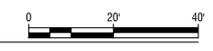
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Grading Plan

Grading Plan
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